

## **Town of Beaver Dam Notice of Public Hearing and Board of Appeals Meeting**

**Notice is hereby given** that the Town of Beaver Dam Board of Appeals will meet on Monday, January 29, 2024 at 7:00 PM in the Town of Beaver Dam Town Hall located at W8540 County Road W, Beaver Dam, WI. Town Board members may attend the meeting for purposes of gathering information.

The agenda is as follows:

1. Call to order and roll call
2. Verify compliance with the Open Meeting Law
3. Approve the minutes of the December 13, 2023 Board of Appeals meeting
4. Conduct a public hearing on the appeal of James & Pamela Pfarr to allow construction of a new single family residence with no basement on Lot 7 The Preserve at Crystal Farms, Tradewinds Cir parcel 004-1114-1413-010
5. Approve, approve conditionally, or reject the appeal in Item 4 above
6. Adjourn

Howard Bohl  
Board of Appeals Chairman

**Town of Beaver Dam Board of Appeals  
Unapproved Meeting Minutes  
Wednesday, December 13, 2023  
7:00pm  
W8540 County Road W**

Meeting called to order 7:00pm

Present: Chairman Howard Bohl, Sue Rechek, Alan Mannel, Jesse Hankes. Absent: Liz Kern.  
Also present: Land Use Administrator Dan Prunuske

Chairman opened public hearing on the appeal of Andris Magurs to allow construction of an accessory garage in front of house at W8628 Lake George Terrace parcel 004-1214-2812-000.

Andris Magurs not in attendance.

Land Use Administrator Dan Prunuske spoke in favor of construction. None spoke against.

Chairman closed public hearing.

Motion (Mannel/Hankes) to grant appeal. Motion carried on unanimous voice vote.

Chairman opened public hearing on the appeal of Donna Schauer to allow construction of an accessory garage in front of the house at N8490 S. Sunset Point Road parcel 004-1214-2022-002.

Dan Prunuske spoke in favor of construction as agent for the applicant, not as Land Use Administrator. None spoke against.

Chairman closed public hearing.

Motion (Rechek/Mannel) to grant appeal. Motion carried on unanimous voice vote.

Motion (Rechek/Mannel) to adjourn meeting at 7:09pm. Motion carried unanimously.

Respectfully submitted,

Aimee Mallon, secretary

# Appeal Application

Applicant (Agent): James and Pamela Pfarr  
Street Address: PO Box 1046  
City, State, Zip Code: West Bend, WI 53095  
Phone Number: 414-303-8758 Email: pfarrjam@gmail.com

Property Owner (If different from applicant) \_\_\_\_\_  
Street Address \_\_\_\_\_  
City, State, Zip Code \_\_\_\_\_  
Phone Number \_\_\_\_\_ Email \_\_\_\_\_

Parcel Identification Number (PIN) : 004-1114-1413-010

Site Address \_\_\_\_\_  
Subdivision & Lot Number or CSM Number: The Preserve at Crystal Farms, Lot 7  
Zoning: Single Family Residential  
Present Use of Property: Agricultural  
Proposed Use of Property: Single Family Residential  
List any prior variances granted or denied for this property \_\_\_\_\_  
\_\_\_\_\_

Describe all Nonconforming structures and uses on this property: Single family residence, designed as a barndominium (shouse) utilizing post-frame construction methods.  
Zoning Ordinance Section for which a variance is sought: Ch 62-7(c)  
Variance Requested: Request to build our home on a slab on grade without a basement.  
\_\_\_\_\_

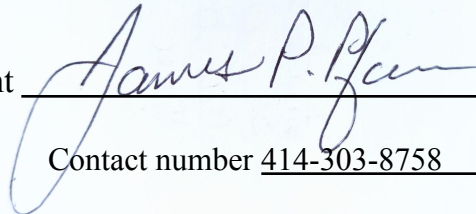
Provide justification for the variance. Attach additional sheets if necessary.

\_\_\_\_\_The “barndominium” style house is built on 4 ft pre-cast footings in the same fashion as a pole-barn building, with load bearing posts on the footings carrying the load of the roof structure. As such, the building is typically constructed on a frost protected slab. We are looking to have a 2,000 sq ft living area for our home, and have elected to proceed without a basement as an accommodation to our physical needs and projected mobility concerns as we grow older.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Certificate**

I hereby certify that I am the owner and/or authorized agent of the property and that all the above statements and attachments submitted are true and correct to the best of my knowledge and belief. I hereby authorize members of the Town of Beaver Dam Board of Appeals to enter the above described property for purposes of obtaining information pertinent to my appeal.

Signature of owner or authorized agent

Date Dec 20, 2023Contact number 414-303-8758

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**Disposition (For office use only)**

Board of Appeals meeting date: \_\_\_\_\_

**The Appeal is (denied/granted/granted in part) subject to the following conditions:**

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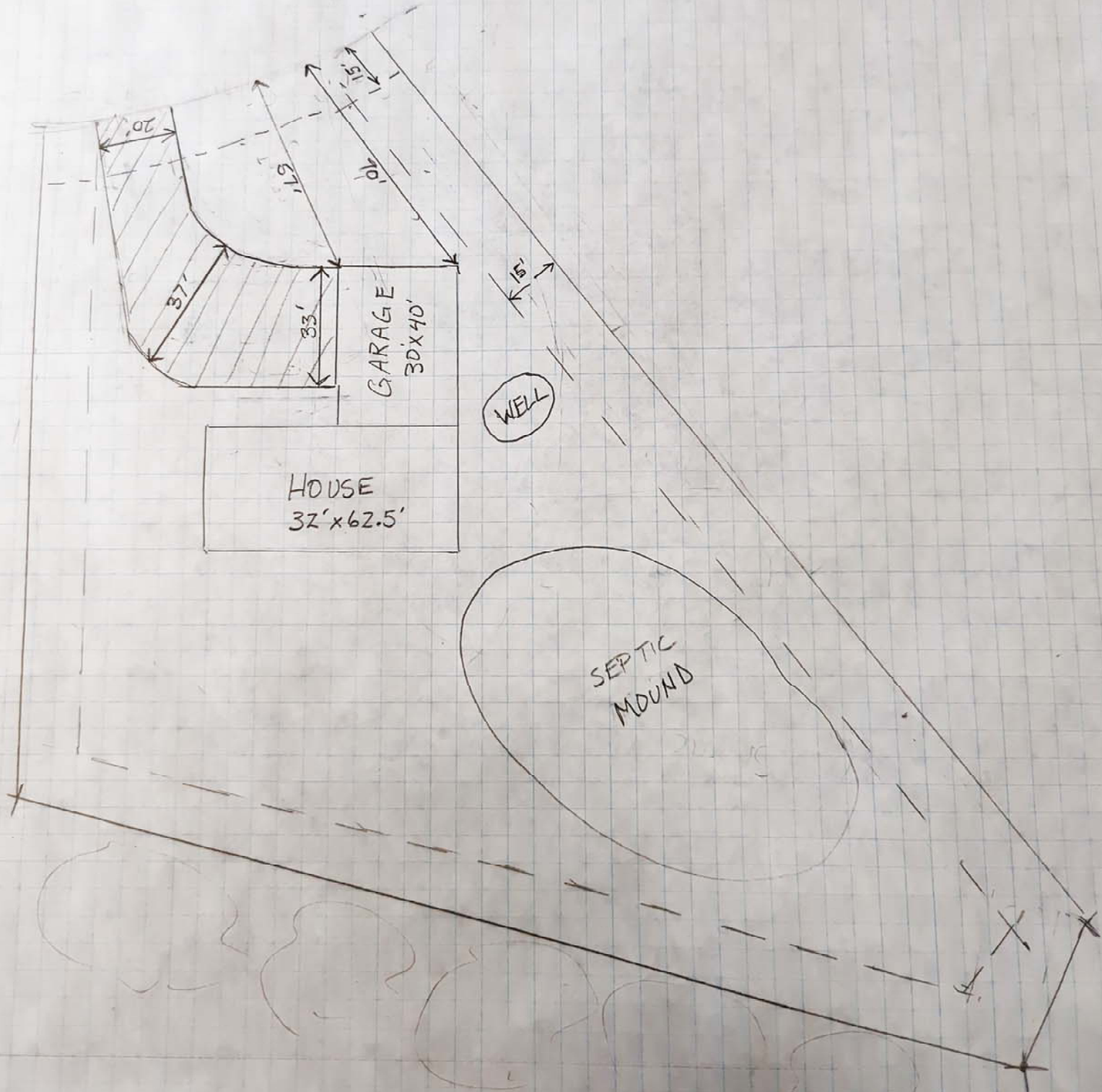
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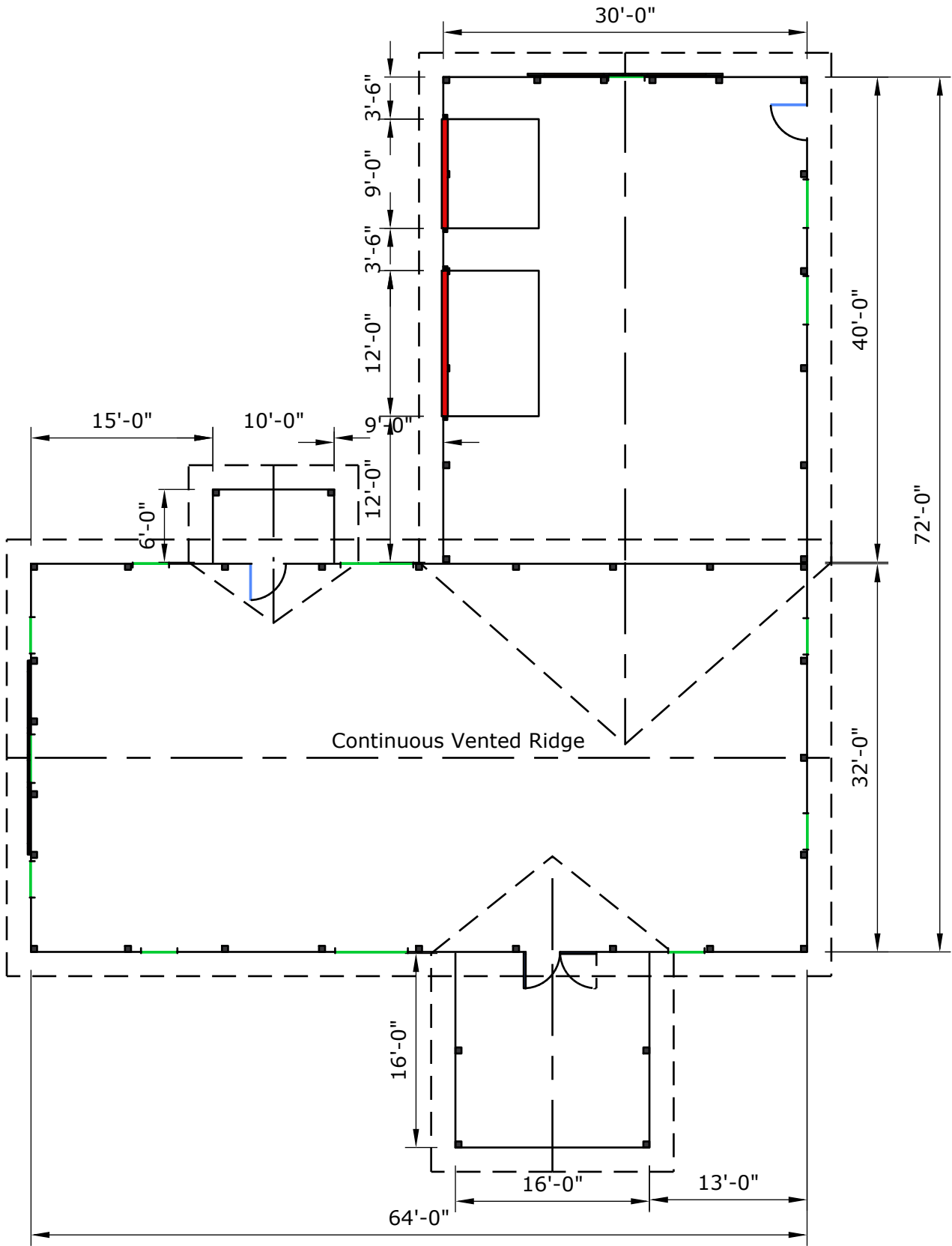
Signed \_\_\_\_\_

Land Use Administrator

Date \_\_\_\_\_



- Building Designed to Support Future Weight of Drywall Ceiling (5 PSF Max)
- 10,000 PSI Perma-Column System Included on Entire Building
- Dig & Set Perma-Columns 4' Below Grade
- Backfill all Columns with Gravel (Gravel Supplied by Purchaser)
- Engineered Concrete Pads on All Columns
- Columns Only At Commonwall
- 2 Additional Columns Required for Window Locations in Endwalls
- Exposed Starburst Trusses on North Garage Gable & West House Gable
- Building Wrap Under Wall Steel on Both Buildings
- 24" Sidewall Overhangs With Vented Aluminum Soffit
- 24" Endwall Overhangs With Non-Vented Aluminum Soffit
- Porches to Have Exposed Cedar Trusses & Cedar Columns



**FLOOR PLAN**

FBi Building 32' x 64' x 9' I.C. w/30' x 40' x 9' Addition

Sidewall Columns & Trusses Space at 8' O.C. Designed for 30 psf Ground Snow Load

Copyright: Fbi Buildings, Inc.	<b>General Notes:</b> Gutters - Yes, 6" Wainscot - No OSB & Felt - No	<b>Door Schedule:</b> D1 - Frameout & Install Purchaser Provided 3' x 6'-8" Walkdoor D2 - Frameout for Purchaser Provided 6' x 6'-8" Sliding Door D3 - 9' x 8' OHD Frameout (Door Not Included) D4 - 12' x 8' OHD Frameout (Door Not Included)	<b>Window Schedule:</b> W1 - Frameout & Install Purchaser Provided ?' x ?' Window
Building may not be shown to scale. (Colors shown may not match actual colors. Refer to color samples for actual colors.)			



X:

Purchaser Approval

Date

X:

Seller Approval

Date

X:

Drawing #

James Pfarr

Lot 7 Trade Winds Circle Dr

Beaver Dam, WI 53916

Dodge County

Floor Plan

FBi

Fbi Buildings, Inc.

3823 W 1800 S

Remington, IN 47977

219-261-2157

www.fbibuildings.com

Date : 00/00/00

Name: XXX

Rev 0

PRELIMINARY

THESE DRAWINGS

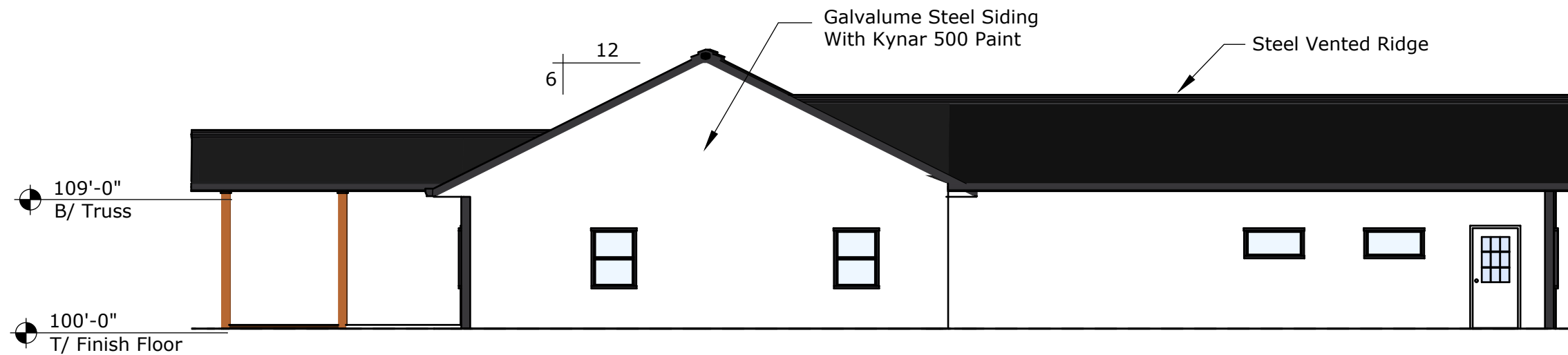
ARE FOR

REVIEW

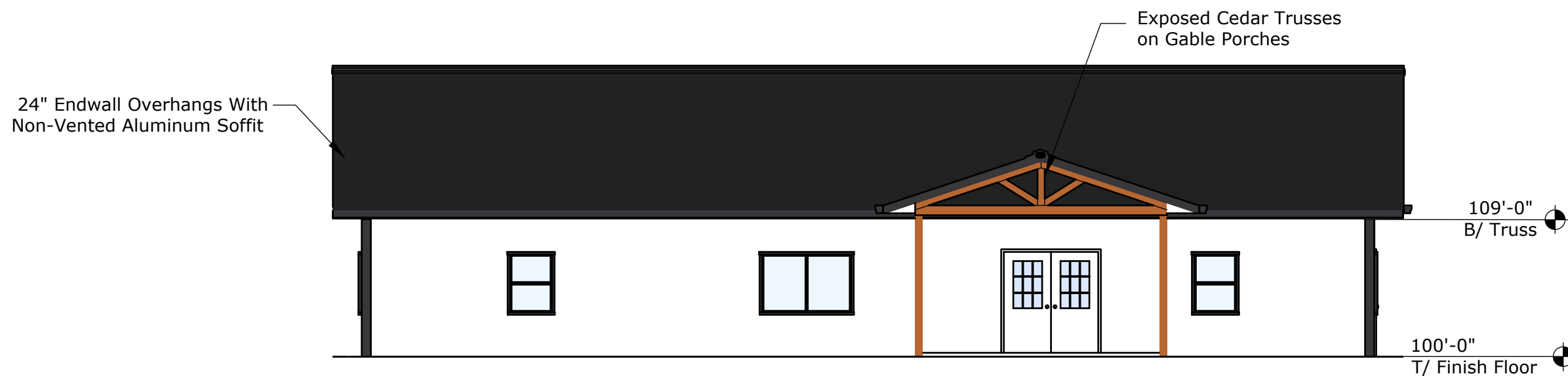
ONLY

These drawings are not complete and are not to be used for construction.

A-101



**EAST ELEVATION**



**SOUTH ELEVATION**

Copyright:  
FBi Buildings, Inc.

Building may not be shown to scale.  
(Colors shown may not match actual colors.  
Refer to color samples for actual colors.)

X:	Purchaser Approval	Date
X:	Seller Approval	Date
	Drawing #	

<b>James Pfarr</b> <b>Lot 7 Trade Winds Circle Dr</b> <b>Beaver Dam, WI 53916</b> <b>Dodge County</b>	<b>Elevation Plan</b>
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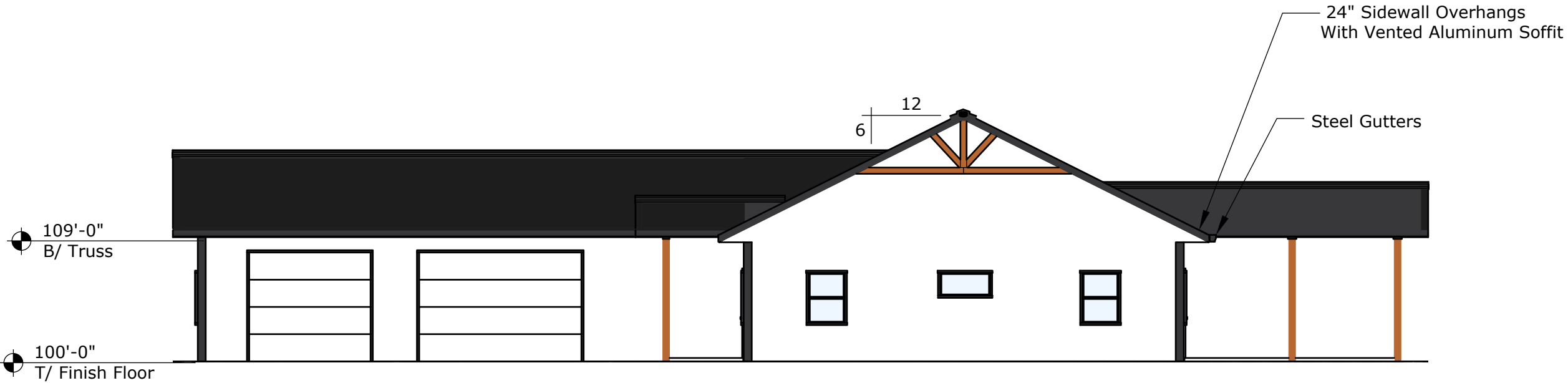


Date : 00/00/00  
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Rev 0

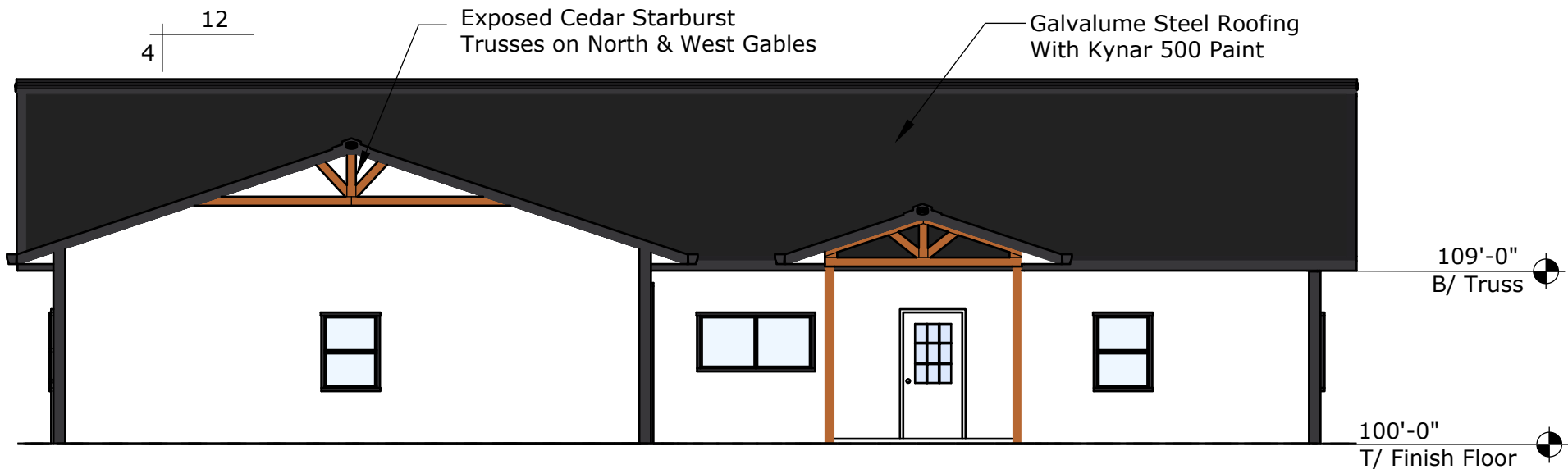
**PRELIMINARY**  
THESE DRAWINGS  
ARE FOR  
**REVIEW**  
**ONLY**

These drawings are  
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for construction.

A-201



**WEST ELEVATION**



**NORTH ELEVATION**

Copyright:  
Fbi Buildings, Inc.

Building may not be shown to scale.  
(Colors shown may not match actual colors.  
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X:	Purchaser Approval	Date
X:	Seller Approval	Date
	Drawing #	

James Pfarr Lot 7 Trade Winds Circle Dr Beaver Dam, WI 53916 Dodge County	Elevation Plan
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**FBI**  
Fbi Buildings, Inc.  
3823 W 1800 S  
Remington, IN 47977  
219-261-2157  
www.fbilbuildings.com

Date : 00/00/00  
Name: XXX  
Rev 0

**PRELIMINARY**  
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A-202





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X:	Seller Approval	Date
	Drawing #	

**James Pfarr**  
**Lot 7 Trade Winds Circle Dr**  
**Beaver Dam, WI 53916**  
**Dodge County**

3D View

**FBI**  
FBI Buildings, Inc.  
3823 W 1800 S  
Remington, IN 47977  
219-261-2157  
www.fbibuildings.com

Date : 00/00/00  
Name: XXX  
Rev 0

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A-203