

Town of Beaver Dam Amended Notice of Public Hearing and Plan Commission Meeting

Notice is hereby given that the Town of Beaver Dam Plan Commission will meet at 7:00 PM on Monday, March 11, 2024 in the Beaver Dam Town Hall at W8540 County Road W, Beaver Dam, WI. Town Board members may attend the meeting for purposes of gathering information.

The agenda is as follows:

1. Call to order and roll call
2. Verify compliance with the Open Meeting Law
3. Approve the minutes of the November 27, 2023 Plan Commission meeting
4. Conduct a public hearing on a recommendation from the Town Board to amend s. 62-7(c) of the Zoning Ordinance requiring basements for all new homes and s. 62-14 definition of “basement”
5. Make a recommendation to the Town Board regarding basements for all new homes
6. Conduct a public hearing on the application of Steve & Tamera Schwartzer for a Conditional Use permit to operate a flea market in the lower level of 1227 Madison Street parcel 004-1114-0823-019
7. Act on Item 6 above
8. Conduct a public hearing on the application of the John J. & Pamela J. Pryme Trust for a Conditional Use permit to permit the creation of a 1± acre residential parcel in the A-2 General Agricultural zone at W9531 County Road S parcel 004-1114-3021-000
9. Act on Item 8 above
10. Act on the application of the John J. & Pamela J. Pryme Trust to create a 2 lot CSM at W9531 County Road S parcel 004-1114-3021-000
11. Adjourn

Tom Zeamer
Plan Commission Chairman

- (a) *Application for certificate of zoning compliance.* Every application for certificate of zoning compliance for a new use or change in use of land or building shall be made directly to the office of the zoning administrator on forms provided by his or her office.
- (b) *Issuance of certificates of zoning compliance.* No certificate of zoning compliance for a building or portion thereof, constructed after the effective date of this chapter, shall be issued until construction is substantially completed, and the premises inspected and certified by the office of the zoning administrator to be in conformity with the plans and specifications upon which the land use permit was issued.
- (c) *Issuance of certificates of nonconforming uses.* Any person, firm or corporation having a legal or equitable interest in a property which is nonconforming as to standards may require a certificate of zoning compliance. The applicant shall present documentary proof that said use was a permitted use at the time it originated and was made nonconforming by the adoption of this chapter or amendment thereto. After verifying the use in question is in fact a nonconforming use, the zoning administrator shall issue a certificate of zoning compliance stating the use in question' and the zoning of the property.

Sec. 62-7 General requirements

All principal structures shall be located on a lot; and only one residential principal structure shall be located, erected or moved onto a lot.

No land use permit shall be issued for a lot which abuts a public street dedicated to only a portion of its proposed width and located on that site from which the required dedication has not been secured.

- (a) *Minimum lot area and width.* Except as otherwise specifically required or permitted the minimum lot area shall be 40,000 square feet and a minimum lot width of 125 feet at the building setback line and 125 feet at the water's edge along a navigable waterway. Lots served by public sanitary sewer shall have a minimum lot area of 10,000 square feet and 80 feet of lot width at the building setback line.
- (b) *Side yards.* There shall be a side yard for each principal structure. For lots not served by public sanitary sewer, the minimum width of one side yard shall be 10 feet. The minimum aggregate width of both side yards shall be 25 feet. For lots served by public sanitary sewer, the minimum width of one side yard shall be 10 feet. The minimum aggregate width of both side yards shall be 20 feet. Side yards for substandard lots may be reduced to a minimum aggregate width of both side yards of 40% of the lot width and a minimum width of one side yard of 40% of the aggregate.
- (c) *Floor area.* A one-story single-family dwelling, including manufactured homes located outside of a manufactured home park, shall have at least 1,400 square feet of finished living area. A multi-floor single-family dwelling shall have a minimum of 1,800 square feet of finished living area. Multifamily, single or multistory dwellings shall have a minimum of 1,200 square feet of finished living area per unit. All homes shall be placed upon a permanent basement type foundation. Finished basement areas are not to be used for calculating finished living areas.
- (d) *New home building foundation requirement.* It is hereby required that each new home constructed have at a minimum height, its first floor sill plate 2 feet above the finished road grade which its home abuts. Documentation of this elevation shall be upon the site map sketch presented for approval of a building permit. The town board realizes, in certain elevation situations this requirement would not be practical. In those instances, the town land use administrator is authorized to waive this requirement. The waived requirement shall be substituted for a suitable elevation that will locate the new home as well as practical above surface or groundwater issues having the potential for flooding the basement area and creating the need for an extensive mechanical water evacuation system.

<i>Animal Calculation Table</i>		
<i>Number Equivalent to 500 Animal Units</i>	<i>Animal Type</i>	<i>Animal Equivalency Factor</i>
Dairy Cattle:		
350	Milking and dry cows	1.4
455	Heifers (800 to 1,200 lbs.)	1.1
835	Heifers (400 to 800 lbs.)	0.6
2,500	Calves (under 400 lbs.)	0.2
Beef Cattle:		
500	Steers or cows (600 lbs. to mkt.)	1.0
1,000	Calves (under 600 lbs.)	0.5
350	Bulls	1.4
Goats:		
5,000	Kids	0.1
Swine:		
1,250	Pigs (55 lbs. to mkt.)	0.4
5,000	Pigs (up to 55 lbs.)	0.1
1,250	Sows	0.4
1,000	Boars	0.5
Sheep:		
5,000	Per animal	0.1
Horses:		
250	Per animal	2.0
Ducks:		
2,500	Per bird (wet lot)	0.2
50,000	Per bird (dry lot)	0.01
Chickens:		
50,000	Layers	0.01
100,000	Boilers	0.005
50,000	Boilers (continuous overflow watering)	0.01
15,000	Layers or boilers (liquid manure system)	0.033
Turkeys:		
27,500	Per bird	0.018

Arterial street. A public road or highway used or intended to be used primarily for fast or heavy through traffic. Arterial streets and highways shall include freeways and expressways as well as arterial streets, highways and parkways.

Basements. Basements with frost-type footings, top of footing 4 feet below outside elevations, are to be constructed under the living area of a home. The basement shall be a minimum of 7 feet in height between the basement floors to the first floor sill. They may have finished living areas; however, these areas do not count toward the required minimum living area.

Conditional Use Permit Application

Applicant (Agent) STEVE TAMARA SCHWARTZ

Street Address 3120 CASTLETON KING

City, State, Zip Code SUN PRAIRIE, WI 53590

Phone Number 608-235-4241 Email SMS@gdinet.com

Property Owner (If different from applicant) SCOTT EBERLE

Street Address PO BOX 672

City, State, Zip Code BEAVER DAM, WI 53916

Phone Number 920-210-0333 Email _____

Parcel Identification Number (PIN) 004-1114-0823-019

Site Address 1227 MADISON STREET, LOWER UNIT

Zoning COMMERCIAL

Present Use of Property VACANT

Proposed Use of Property INDOOR FLEA MARKET

Zoning Ordinance Section Number SEC. 62-66 C-1 - COMMERCIAL DISTRICT (b)(1)

Certificate

I hereby certify that I am the owner and/or authorized agent of the property and that all the above statements and attachments submitted are true and correct to the best of my knowledge and belief. I hereby authorize members of the Town of Beaver Dam Plan Commission to enter the above described property for purposes of obtaining information pertinent to my CUP request.

Signature of owner or authorized agent 

Date 2-21-2024

Contact number 608-235-4241

Disposition (For office use only)

Plan Commission Meeting Date: _____

The CUP is (denied/granted/granted in part) subject to the following conditions:

Permit is hereby issued with the understanding that all work performed be in accordance with the application and in compliance with the Town of Beaver Dam Zoning Ordinance and relevant Laws of the State of Wisconsin and subject to the conditions stated above.

Signed _____
Land Use Administrator

Date _____

Conditional Use Permit for Steve & Tamera Schwartzer

Leasing the property at 1227 Madison Street, Lower Unit
Beaver Dam, WI 53916

1. Completed application form and \$500 fee attached.
2. Detailed site plan describing parcel is not applicable as already completed and zoned Commercial.
3. Written statement stating the proposed use of of the parcel (warehouse) we are renting is below:

We will be operating an indoor flat rate flea market, providing 2nd hand goods to the community. We will be open only 2 days per week for 3 to 5 hours per day for no more than 9 hours maximum per week.

1500 -

Conditional Use Permit Application

Applicant (Agent) New Frontier Land Surveying
Street Address P.O. Box 576
City, State, Zip Code BEAVERDAM, WI 53916
Phone Number (920) 296-3904 Email newfrontier@powercom.net
Property Owner (If different from applicant) John + Pam Pryme Trust
Street Address W 9531 CR "S"
City, State, Zip Code BEAVERDAM, WI 53916
Phone Number 920-344-6041 Email N/A
Parcel Identification Number (PIN) 004-1114-3021-000
Site Address W 9531
Zoning GENERAL AG
Present Use of Property RESIDENCE + FARM LAND
Proposed Use of Property NEW HOME RESIDENCE
Zoning Ordinance Section Number 54-111 / 62-63

Certificate

I hereby certify that I am the owner and/or authorized agent of the property and that all the above statements and attachments submitted are true and correct to the best of my knowledge and belief. I hereby authorize members of the Town of Beaver Dam Plan Commission to enter the above described property for purposes of obtaining information pertinent to my CUP request.

Signature of owner or authorized agent

Date 4-10-2024

Contact number 920-296-3904

Disposition (For office use only)

Plan Commission Meeting Date: _____

The CUP is (denied/granted/granted in part) subject to the following conditions:

Permit is hereby issued with the understanding that all work performed be in accordance with the application and in compliance with the Town of Beaver Dam Zoning Ordinance and relevant Laws of the State of Wisconsin and subject to the conditions stated above.

Signed _____
Land Use Administrator

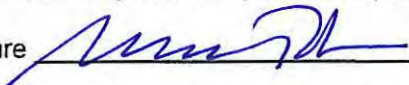
Date _____

175-

MINOR LAND DIVISION LETTER OF INTENT FORM

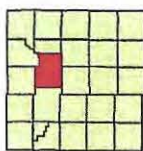
Town of Beaver Dam
W8560 County Road W
Beaver Dam, WI 53916
920-887-0791 x15
Lua@bdtown.org
www.townofbeaverdam.org

Application Fee \$150 + \$25 per Lot

NAMES & MAILING ADDRESSES		PROPERTY DESCRIPTION				
Applicant (Agent) New Frontier Land Surveying		Parcel Identification Number (PIN) 004-1114-3021-000				
Street Address P.O. Box 576		Town BEAVERDAM		T 11	N 14	R E
City • State • ZipCode BEAVERDAM, WI 53916		1/4 NE	1/4 NW	Section 30	Acreage of Parent Parcel 47+	Acreage of Proposed Lot(s) 1.27
Property Owner (if different from applicant) JOHN + PAM PRYME TRUST		Subdivision (Name, lot and block) or CSM # (Volume/Page/Lot) N/A				
Street Address W 9531 CR "S"		Site Address Of Property (DO NOT include City/State/ZipCode) W 9531 CR "S"				
City • State • ZipCode BEAVERDAM, WI 53916		Is this property connected to public sewer? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				
CONTACT PERSON						
Name and daytime phone number (include area code) of a person we can contact if we have any questions about your application						
Name MARK TOMASHEK		Daytime Phone (920) 296-3904				
CURRENT PROPERTY USE		PROPOSED USE				
<input type="checkbox"/> Vacant Property <input checked="" type="checkbox"/> Single Family Residential <input type="checkbox"/> Duplex (Two-Family Residential) <input type="checkbox"/> Multi-Family Residential • Number of residential units: _____ <input checked="" type="checkbox"/> Active Working Farm Operation <input type="checkbox"/> Recreational / Wetlands / Wooded Parcel <input type="checkbox"/> Business / Industrial / Commercial Use (Describe Below) <input type="checkbox"/> Other (Describe Below)		<input checked="" type="checkbox"/> Single Family Residential <input type="checkbox"/> Duplex (Two-family Residential) <input type="checkbox"/> Multi-Family Residential • Number of residential units: _____ <input type="checkbox"/> Agricultural Use Only - No residential structures <input type="checkbox"/> Open Space Recreational / Wetlands - No residential structures <input type="checkbox"/> Business / Industrial / Commercial Use (Describe Below) <input type="checkbox"/> Other (Describe Below)				
A SKETCH PLAN SHOWING THE PROPOSED LAND DIVISION IS REQUIRED TO BE SUBMITTED WITH THIS APPLICATION.						
CERTIFICATE						
I, the undersigned, hereby apply for Minor Land Division approval and certify that all the information both above and attached is true and correct to the best of my knowledge. I hereby authorize members of the Town of Beaver Dam Plan Commission to enter the above-described property for purposes of obtaining information pertinent to my request						
Signature 		Date 2/10/2024				
Daytime Contact Number (920) 296-3904						

BEAVER DAM

T.11-12N. - R.14E.



See TRENTON (S) Page 36



Land Information

Dodge County

Web Map

Search Tool

land.ca.dodge.wi.us

dodgecountyswebmap.com

The maps and acreages presented are representation intended to be a general reference to the public. They are not intended for legal, survey, or other related uses, and are advisory only. Dodge County assumes no liability for any use or misuse of this information. For the full disclaimer please see page 1.

See WESTFORD Page 37

See CALAMUS Page 15

See BURNETT Page 14

See OAK GROVE Page 30

See LOWELL (N) Page 28

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- Parcels
- Parcel Numbers
- CSM Boundaries
- CSM Lots
- Sub and Condo Lots
- Subdivision and Condo
- Boundaries
- ▲ Address Points
- Encumbrances
- ROW
- Driveways
- Municipalities
- Sections
- Roads

*N 1/4 cor
sec. 30*

*LOT 1
1 ac +/-*

*47 ac
TOTAL*

The data used to create this map is a compilation of records, information, and data from various city, county and state offices, and other sources. This map is only advisory, does not replace a survey, and may not be used for any legal purpose. Dodge County assumes no liability for any use or misuse of this information.

Date created: 2/22/2024
Last Data Uploaded: 2/22/2024 4:42:31 AM

*c 1/4 cor
sec. 30*

DETAIL:

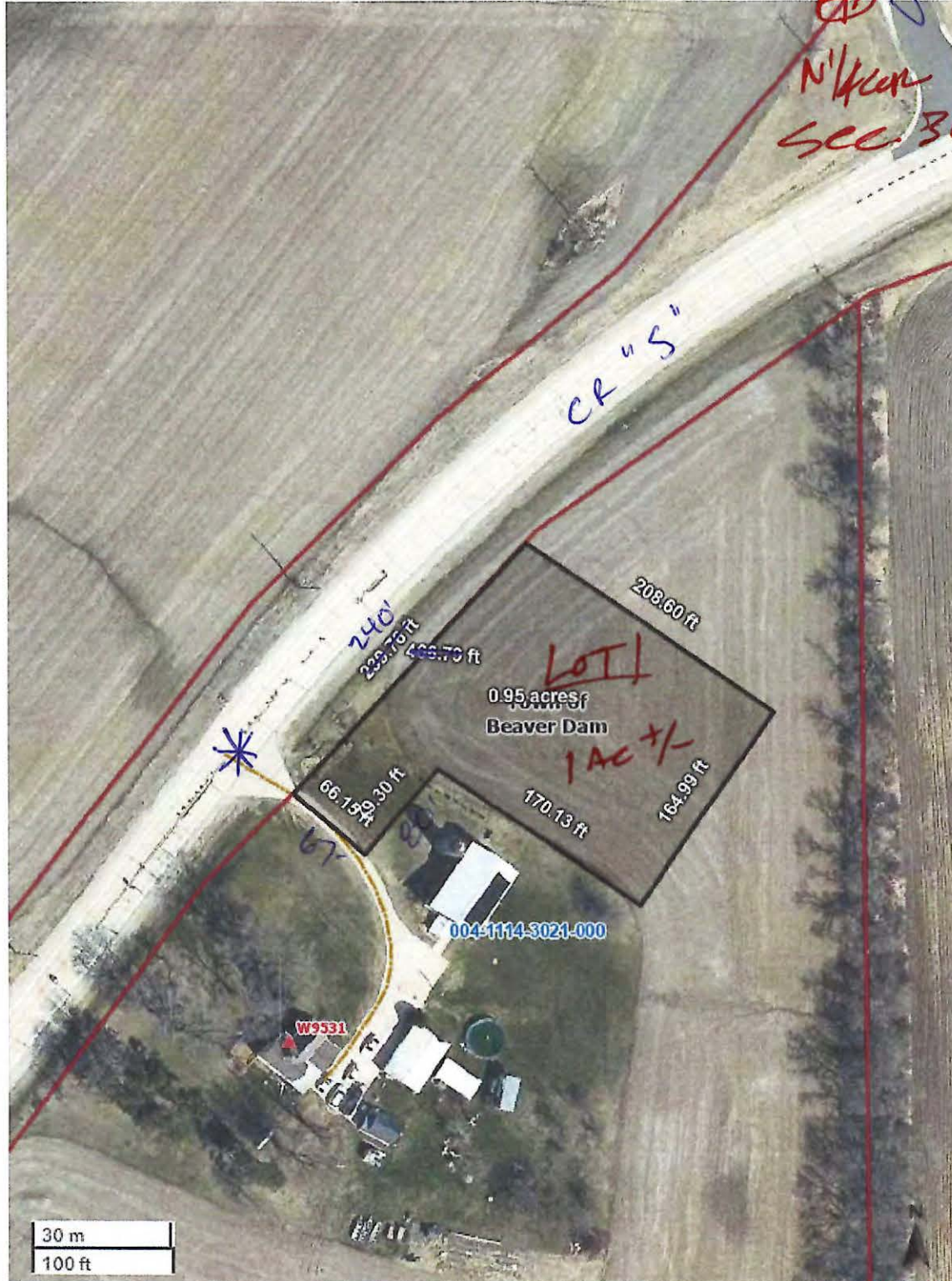


DODGE COUNTY Wisconsin

Dodge County, WI

Pryme

Created by: undefined



- Parcels
- Parcel Numbers
- CSM Boundaries
- CSM Lots
- Sub and Condo Lots
- Subdivision and Condo Boundaries
- Address Points
- Encumbrances
- ROW
- Driveways
- Misc Lines
 - 11beaverdamoriginal,
 - 11foxlake1836,
 - 11lakeemily1836,
 - 11rockcenter,
 - 11rockoriginal,
 - 11thread,
 - 12h2o-noteboundary,
 - 31vac,
 - 32rw-unopen,
 - 41chord,
 - 41deed,
 - 41deed, <Null>
 - 41easement,
 - 41meander,
 - 41meander, <Null>
 - 45hook,
 - 45hook, Hook
 - 45hook, Hook_2
 - 45lic,
 - 45lic, <Null>
 - 45lic, Arrow1
 - 45lic, Arrow2
 - 45lic, Ltlic
 - 45lic, Rtlic
 - 61trailer,
 - <all other values>
- Municipalities

The data used to create this map is a compilation of records, information, and data from various city, county and state offices, and other sources. This map is only advisory, does not replace a survey, and may not be used for any legal purpose. Dodge County assumes no liability for any use or misuse of this information.

Date created: 12/1/2023

Last Data Uploaded: 12/1/2023 12:08:52 AM

* SHARED DW AT PERMIT
EXISTING ACCESS POINT

CHK# 8372
8369
PD NFLS

APPLICATION
FOR PERMIT TO MAKE AN EXCAVATION OR FILL IN
OR TO INSTALL A CULVERT ON
OR TO OBTAIN ACCESS TO
A DODGE COUNTY HIGHWAY

Inasmuch as Dodge County Ordinances 786, 873, and 932 and Chapter 86.07(2) of the Wisconsin Statutes requires that "No person shall make any excavation or fill or install any culvert . . . in any highway . . . without a permit therefore from the highway authority maintaining the highway . . ." the undersigned requests permission to

Create a shared PE @ W9531 Gth S

within the limits of County Trunk Highway S, located on the South side of the road,
650 feet West of Center Road in Section 30
T. 11-12 N., R. 14 E., Town of Beaver Dam in Dodge County.

GPS Coordinate LAT: 43.39914 LONG: -88.87494

By signing, the applicant hereby acknowledges that fees shall apply. See reverse side for Fee Schedule. I understand this is an application only. No work shall begin until the approved permit is issued.

I understand that if work is done by a private contractor or owner, the Dodge County Highway Commission shall be informed when the work is complete. If no notice is received by the Commission within either one year of the issuance date of the permit or within one year of the approval date of an extension of the permit, the prepaid owner deposit shall be retained permanently by the Commission.

SIGNATURE	<u>Pamela J. Prime</u>	SIGNATURE	_____
PRINTED NAME	<u>PAMELA J. PRIME</u>	PRINTED NAME	_____
COMPANY	_____	COMPANY	_____
ADDRESS	<u>W9531 CTY S</u>	ADDRESS	_____
CITY, STATE, ZIP	<u>BEAVER DAM, WI 53916</u>	CITY, STATE, ZIP	_____
PHONE NO	<u>920-344-6041</u>	PHONE NO	_____

Field Reviewed by: Nate Minnig Date: 12/1/23

Denied ☒ Reason: Shared PE not allowed
per policy

Appeal Fee \$100

Appeal Approved ☒ Denied ☐ by Highway Committee at its December 11th meeting.
2023

Approved ☐ ☐ Dry Entrance -- no pipe needed

☐ Use Existing Pipe -- Size/AEW's/Band _____

☐ Culvert Required -- Size/AEW's/Band _____

Purchase Pipe from Dodge County Highway Department: ☐ Yes ☐ No

Fee: \$ 100.00 CK # 8369
50.00 CK # 8372

Deposit: \$ _____

Approved. 12/11/2023